

# DEVELOPMENT REVIEW BOARD REPORT



MEETING DATE: June 23, 2005

ITEM NO. 11

CASE NUMBER/ PROJECT NAME	<b>24-DR-2005</b> <b>Miller Holdings Airpark</b>		
LOCATION	14800 N. 78 <sup>th</sup> Way, at the northwest side of the intersection of 78 <sup>th</sup> Way and Raintree Road		
REQUEST	Request approval of a site plan and elevations for a new two-story office building and three hangars.		
OWNER	Miller Holdings Inc. 480-945-9292	ENGINEER	Hunter Engineering 480-991-3985
ARCHITECT/ DESIGNER	Larson Associates 602-955-9929	APPLICANT/ COORDINATOR	Jim Larson Larson Associates Architects Inc. 602-955-9929
BACKGROUND	<p><b>Zoning.</b></p> <p>The site is zoned Industrial Park (I-1) District. This district allows for airport and aviation related uses including hangers and aircraft staging areas, as well as office and warehouse uses as permitted uses.</p> <p><b>Context.</b></p> <p>The site is located within the Scottsdale Industrial Airpark Unit #6 plat</p> <p>Adjacent Uses:</p> <ul style="list-style-type: none"><li>• North: Scottsdale Airport and the associated taxiway and runway.</li><li>• South: 78<sup>th</sup> Way and I-1 office and warehouse uses.</li><li>• East: 78<sup>th</sup> Way cul-de-sac and other I-1 uses including the Scottsdale Airport air traffic control tower and office/ warehouse uses.</li><li>• West: I-1 office/warehouse uses within the Scottsdale Airpark area.</li></ul> <p><b>Applicant's Request.</b></p> <p>The request is for approval of a site plan and elevations for a new office and aircraft hanger facility adjacent to the southeast side of the Scottsdale Airport. The site has street access from 3 locations along 78<sup>th</sup> Way and the 78<sup>th</sup> Way cul-de-sac along the east and southeast side of the site. The main access is from the intersection with Raintree Road, with a drive aisle extending to the office entryway. The new office is located north of the parking areas situated adjacent to 78<sup>th</sup> Way and on the west side of the site. The 3 hangers are located north of the office building and an open courtyard area, and have common staging areas with direct access to the Airport taxiway and runway toward the northwest.</p>		
APPLICANT'S PROPOSAL			

The “L” shaped, 2-story office contains a CMU wainscot with gray, smooth satin texture metal panel walls and varied height (30-33 foot) parapet roof. Substantial blue glass window areas in clear aluminum frames are provided on both floors of each side of the building and flat metal shade canopies. The building will be painted gray, tan and chocolate brown colors. Copper metal columns with a CMU base support a large glass entry feature with butterfly roof. The butterfly roof and window area provides an open lobby that extends from front to back through the building to the open, courtyard area toward the northwest.

The 2 large, 36-foot tall hangers have dimensions approximately 120 by 230 feet and can accommodate the largest planes using the airport. A large 180 by 230 foot common staffing area is situated between hangers. The hangers contain tilt slab concrete walls and parapet roof, with CMU wainscot and limited EIFS finish and glass areas, at the pedestrian entry areas mainly along the south and parking lot sides of the buildings. Roll back metal hanger doors are painted gray. Flat metal canopies, similar to those on the office, extend 8-10 feet outward to shade the window areas. The buildings have similar gray, tan and chocolate brown color with blue glazed windows.

Open space is provided along the front of the site and as base planting around the office building, parking lot, and public entryways of hangers. A large landscaped plaza, open space amenity area is provided along the northwest side of the office, south of the hangers and contains a shade structure over the walkway and seat walls. Landscape materials include Palo Verde, Mesquite and Texas Mountain Laurel trees plus Sage, Agave, Chuparosa and a small (1,918 square foot) courtyard turf area. A 12-foot tall meandering “jet blast” wall separates the hangers and aircraft staging area from the courtyard and office area. The wall contains patterned integrally colored CMU to provide visual interest.

**Development Information:**

- Existing Use: Undeveloped site.
- Proposed Use: Office and aircraft hanger complex.
- Parcel Size: 9.5 acres (409,743 square feet).
- Building Floor Area: Office building is 84,178 square feet; the 3 hangers are 33,566, 29,483 and 7,573 square feet for a total of 154,800 square feet.
- Building Height Allowed/Proposed: 36 feet allowed/ 36 feet provided.
- Parking Required/Provided: 279 spaces required/ 397 spaces provided.
- Open Space Required/Provided: 50,310 square feet required/ 79,015 square feet provided.
- FAR: 0.373.
- Number of Units/ Density: N/A.
- Total Square Footage: Buildings, 154,800 square feet, staging areas are 51,468 square feet for Hangers #1 and #2 and 7,600 square feet for #3.

**DISCUSSION**

The lot is one of the last remaining undeveloped properties that abut the Airport. The buildings contain a modern style that is suitable for the area.

**KEY ISSUES**

No objections have been received on this case.

**OTHER BOARDS AND COMMISSIONS**

- Case 18-ZN-1970 zoned the area to I-1 Industrial Park) district in 1970.
- Case 8-DR-1979 approved the Scottsdale Industrial Airpark No. 6 plat in 1979.
- The Airport Director has provided stipulations regarding this development that are attached to this case.

**STAFF RECOMMENDATION**

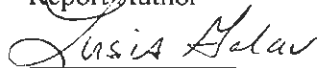
Staff recommends approval, subject to the attached stipulations.

**STAFF CONTACT(S)**

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Senior Planner  
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**APPROVED BY**

Al Ward  
Report Author



Lusia Galav, AICP  
Development Planning Manager  
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**ATTACHMENTS**

1. Applicant's Narrative
2. Context Aerial
- 2A. Aerial Close-Up
3. Zoning Map
4. Site Plan
5. Landscape Plan
6. Elevations (Color)
7. Elevations (Black/White)
- A. Fire Ordinance Requirements
- B. Stipulations/Zoning Ordinance Requirements



Larson Associates Architects, Inc

**Project Narrative  
Miller Holdings – Scottsdale Airpark  
14800 78<sup>th</sup> Way  
Scottsdale, AZ**

Miller Holdings is proposing to construct a two-story office building of 84,178 ft<sup>2</sup> and three hangars which total 69,705 ft<sup>2</sup> on a site immediately south of the Scottsdale Airpark control tower on 78<sup>th</sup> Way where Raintree Drive ends. The office portion of the project is situated facing the intersection so that the view from the Raintree and Hayden intersection toward the site is terminated by the entry canopy and front door of the office building. The site backs to the east taxiway providing immediate access to the three hangars that are proposed for the project.

The office building design features a central entry lobby that faces the intersection as a two + story façade that is covered with a roof that infers an Airpark theme with a wing form. Similar elements also are featured on the public (street) side of the hangar buildings. The building elevation development features overhanging sun protection, blue glass, clear anodized aluminum window framing. This window wall development is carried to the public (street) side of the three hangars to address a common airpark design issue, that of large undeveloped wall surfaces for the hangars.

The office and hangar complex meets City zoning height, volume and lot coverage requirements. Landscape and open space are in compliance with City ordinances as well. The landscape and open space development features a large space between the office building and the 12'-0" blast wall. That landscaped area features shaded lawns and a central space with its own shade structure. The space between the central space and the blast wall has been developed with landscaped transition levels to address the wall height needed for protection against jet blast.

Building colors and materials are presented on the color board. The building massing is formally anchored by larger vertical dark masses that punctuate the long elevation facades into organizing elements which provide scale in a long elevation. The exterior masonry piers further scale the elevation into 30' sections. The piers have copper colored details (either tile or metal) as inset details to bring a third scale level to the elevation elements. Masonry is carried around the building as a belt-course high element at the EIFS material to protect the element from maintenance and landscape labor damage.

The office building exterior materials include integrally colored EIFS and flamed-surface masonry as well as the clear anodized aluminum trim and window framing with blue glass mentioned above. Structural elements for the front and rear entry elements are metallic copper painted. These elements are lighter in scale, transitioning to masonry bases to further reinforce the aviation image of the building. The underside of the "V" roof is expected to be exterior plaster painted a light color to allow the surface material to transition to the interior two-story lobby.

Hangar materials use the same elements of the office building for the public (street) side. Other materials include tilt-concrete panels with vertical textured accents in a separate color, the painted metal hangar doors with matching panels above the doors and masonry detailing at the base of the hangar walls, all incorporated to provide scale to a very large volume building. The smaller hangar employs a similar approach with additional canopy detailing that echoes the office



building roof. Other materials are drawn from the same palette of materials used on the larger hangars.

The project design intent has been to tie the office and hangar projects into a single designed architectural grouping for this nine and one-half acre site.



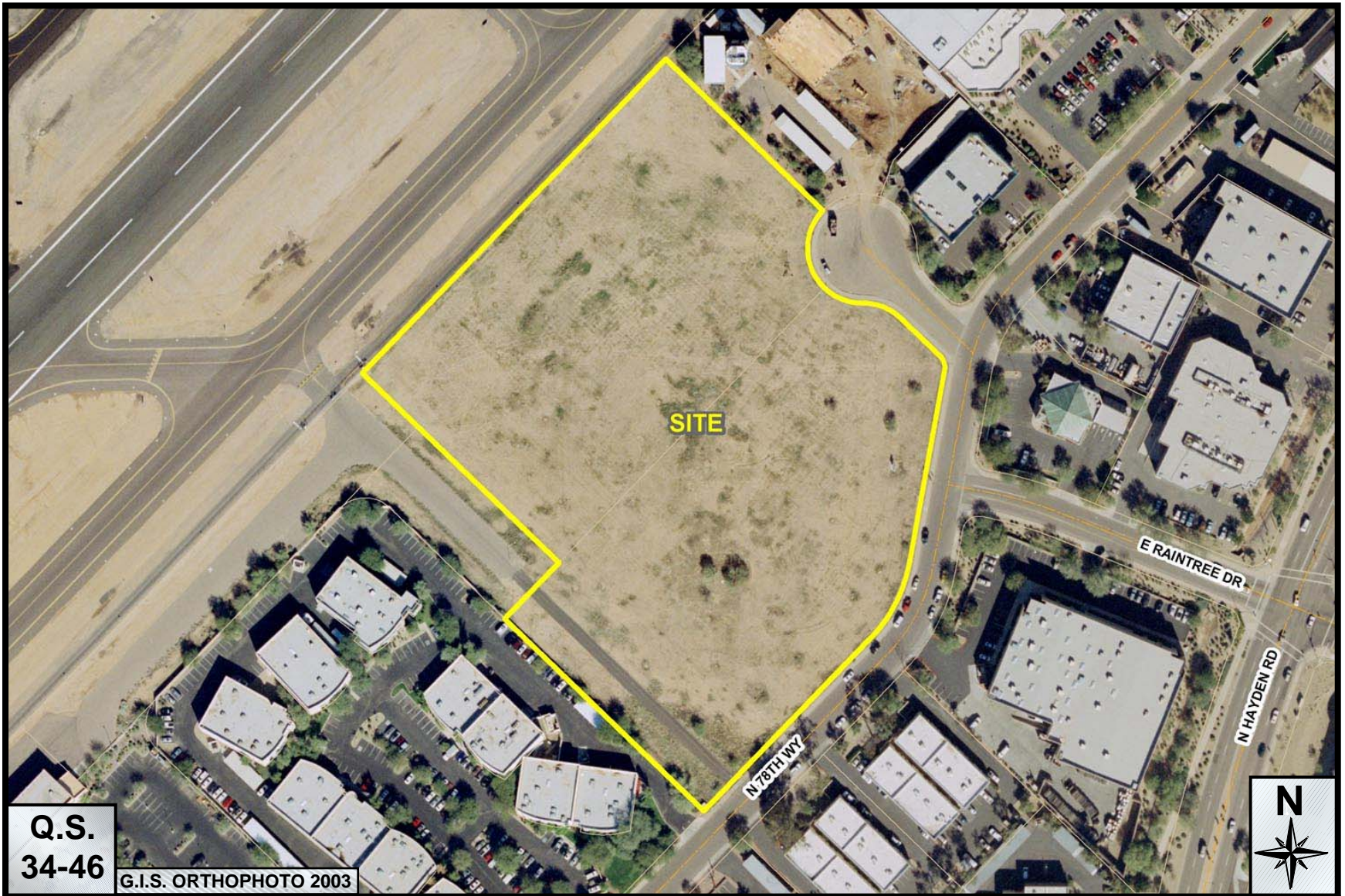


Miller Holdings Airpark

**24-DR-2005**

ATTACHMENT #2





Miller Holdings Airpark

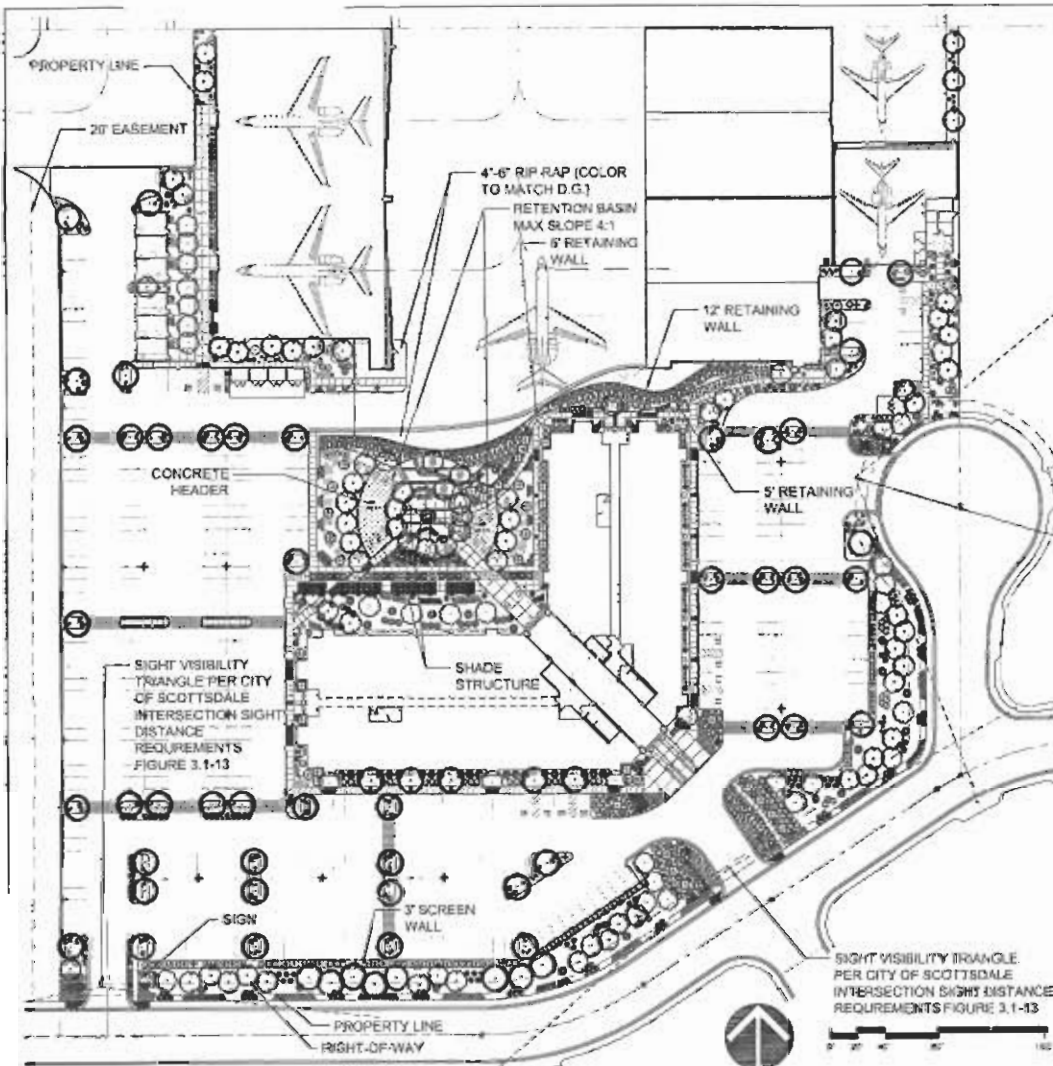
24-DR-2005

ATTACHMENT #2A









## PLANT LEGEND

SYMBOL	TYPE	PLANTED DIMENSIONS	SIZE	QTY
	POTTED YELLOW BIRCH	18" DIA. x 1' TALL 18" HEIGHT x 18" WIDTH	18"	10
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## LANDSCAPE NOTES

1. A MINIMUM OF 30 PERCENT OF THE PROVIDED TREES SHALL BE MATURE TREES (MIN. 2\"/>

**LANDSCAPE PLAN**  
APPROVED  
CITY OF SCOTTSDALE

DATE: \_\_\_\_\_

CONSTRUCTION AND INSTALLATION SHALL BE IN ACCORDANCE WITH THIS PLAN AND ANY AND ALL SECTIONS WILL REQUIRE REAPPRAISAL. LANDSCAPE INSTALLATION TO BE APPROVED BY THE CITY OF SCOTTSDALE INSPECTION SERVICES BEFORE CERTIFICATE OF OCCUPANCY IS ISSUED.

ALL LANDSCAPED AREAS AND MATERIALS, INCLUDING THOSE LOCATED IN RIGHTS-OF-WAY SHALL BE MAINTAINED IN A HEALTHY, RELAT. CLEAN, WEED-FREE CONDITION. THIS SHALL BE THE RESPONSIBILITY OF THE PROPERTY OWNER.

PROPERTY OWNER: \_\_\_\_\_

(PROPERTY OWNER, DEVELOPER, HOMEOWNERS ASSOCIATION, ETC.)

TURF CALCULATION PER SEC 49-245 CITY OF SCOTTSDALE CODE:  
TOTAL TURF PERMITTED (SITE IS GREATER THAN 1/4 ACRES) 2628 SF  
TOTAL TURF PROVIDED: 1918 SF

NOTE:  
WALLS ARE SHOWN ON THIS PLAN FOR REFERENCE ONLY. SEE CIVIL PLAN FOR WALL DETAILS.

24-DR-2005  
REV: 05/27/2005

PRELIMINARY FOR  
REVIEW AND  
APPROVAL ONLY

Larson Associates Northwest, Inc.  
1801 Main Street, Suite 100  
Phoenix, AZ 85016  
602.955.0000 FAX 602.954.4760 FAX  
Email: glenn@larson-associates.com

Larson

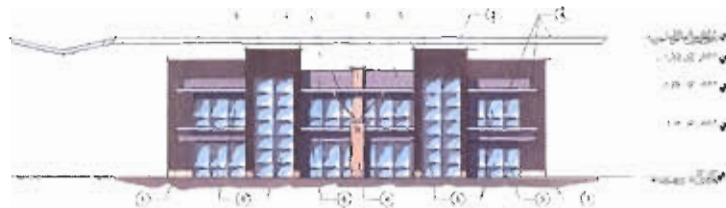
MILLER HOLDINGS - AIRPARK  
18000 NORTH 18TH AVENUE  
SCOTTSDALE, ARIZONA 85260



Drawing Name:  
CONCEPTUAL  
LANDSCAPE  
DESIGN

Revisions:

Date: 05/11/05  
Project Number: 24-DR-05  
Drawing No: 01



1A EXTERIOR ELEVATION - OFFICE BUILDING

SCALE: 1/8" = 1'-0"

1/8" = 1'-0"



2A EXTERIOR ELEVATION - OFFICE BUILDING

SCALE: 1/8" = 1'-0"

1/8" = 1'-0"



3A EXTERIOR ELEVATION - OFFICE BUILDING

SCALE: 1/8" = 1'-0"

1/8" = 1'-0"



4A EXTERIOR ELEVATION - OFFICE BUILDING

SCALE: 1/8" = 1'-0"

1/8" = 1'-0"

EXTERIOR ELEVATION KEYED NOTES:

- 1 4" x 16" SUPERLITE BLOCK PERMA STONE CMU BLOCK - SAUNAT CREEK COLOR
- 2 COPPER METAL SUPPORT COLUMN
- 3 RAS ALUMINUM WINDOW FRAMES
- 4 RAS ALUMINUM DECORATIVE METAL SURFACING
- 5 EPS - LIGHT SAND TEXTURE PAINTED DUNN EDWARDS - CHOCOLATE PUDDING (DE6330)
- 6 EPS - LIGHT SAND TEXTURE PAINTED DUNN EDWARDS - SILVER SHAMLET (DE6338)
- 7 EXTERIOR PLASTER SMOOTH- PAINTED SILVER
- 8 EXTERIOR GLASS - VISTEON 1/4" BLUE 2000T



5A EXTERIOR ELEVATION - OFFICE BUILDING

SCALE: 1/8" = 1'-0"

1/8" = 1'-0"



6A EXTERIOR ELEVATION - OFFICE BUILDING

SCALE: 1/8" = 1'-0"

1/8" = 1'-0"

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Larson

VILLER HOLDINGS - AIRWAY  
18000 NORTH 18TH LANE  
SCOTTSDALE, ARIZONA 85260



Drawing Title:  
Larson Associates  
Architect

Architect

Date: 6/8/04

Project Number: 2004-06

Drawing No:

A2.0-0

621-PA-2004

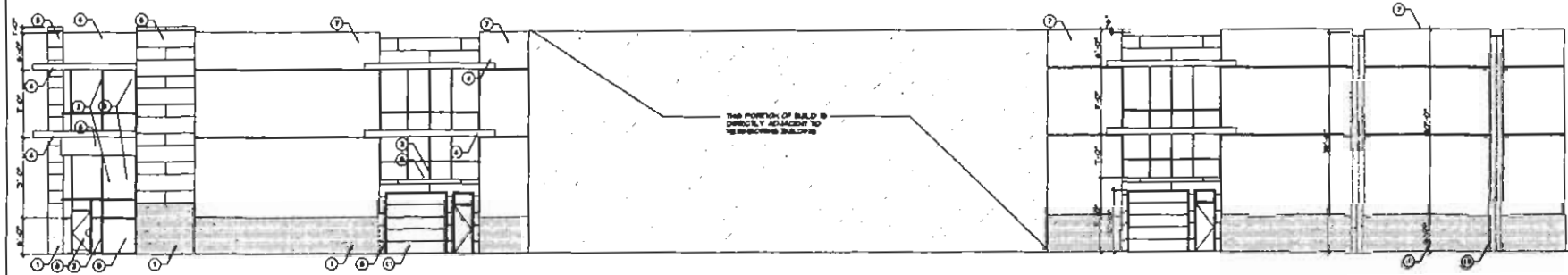
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4/1/2005

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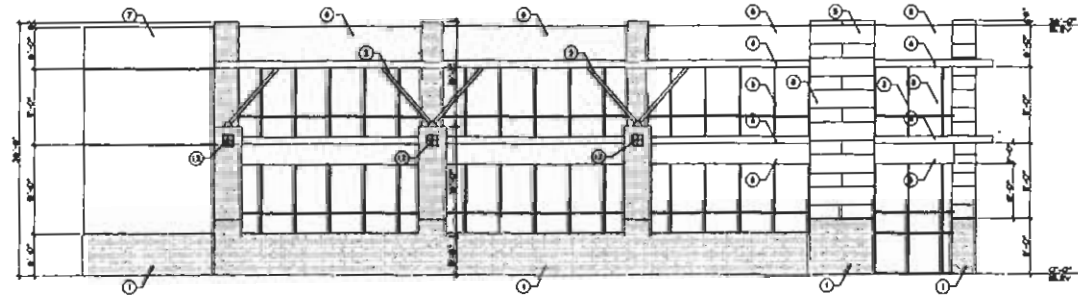


# EXTERIOR ELEVATION KEYED NOTES:

- 1 12" x 16" BRICK, REAR BRICK SIDE OF BLOCK - BRICK - BRICK - BRICK
- 2 COPPER METAL SUPPORT CLIPPER
- 3 RAIN ALUMINUM BRICK FRAMES
- 4 RAIN ALUMINUM DECORATIVE METAL SURVINGS
- 5 EPS - LIGHT SAND MIXTURE PAINTED DUNE SANDS - CHOCOLATE FLOORING (ORANGE)
- 6 EPS - LIGHT SAND MIXTURE PAINTED DUNE SANDS - SILVER BULLET (ORANGE)
- 7 TILT SLAB CONCRETE PAINTED DUNE SANDS PAINT - DECORATIVE ASH GREY
- 8 EXTERIOR SLAB - VIBRUM 1/2" BLUE SCOTT
- 9 TILT SLAB CONCRETE PAINTED TO MATCH GRAY
- 10 COARSE EXPOSED AGGREGATE CONCRETE TO MATCH GRAY
- 11 HANGER DOOR TO BE PAINTED DUNE SANDS PAINT - DECORATIVE ASH GREY
- 12 DECORATIVE COPPER ACCENT PANELS



1 SOUTH ELEVATION - LARGE HANGAR  
SCALE: 1/8" = 1'-0"  
X-ELEV-P&L



2 WEST ELEVATION - LARGE HANGAR  
SCALE: 1/8" = 1'-0"  
X-ELEV-P&L

ATTACHMENT #7

24-DR-2005  
4/1/2005

Larson Associates Architects, Inc.  
3077 North 24th Street, Suite 100  
Phoenix, AZ 85018  
602.965.9779 602.965.4700 FAX  
central@larson-architects.com

Larson

MILLER HOLDINGS - AIRPARK  
14800 NORTH 19TH WAY  
SCOTTSDALE, ARIZONA 85260

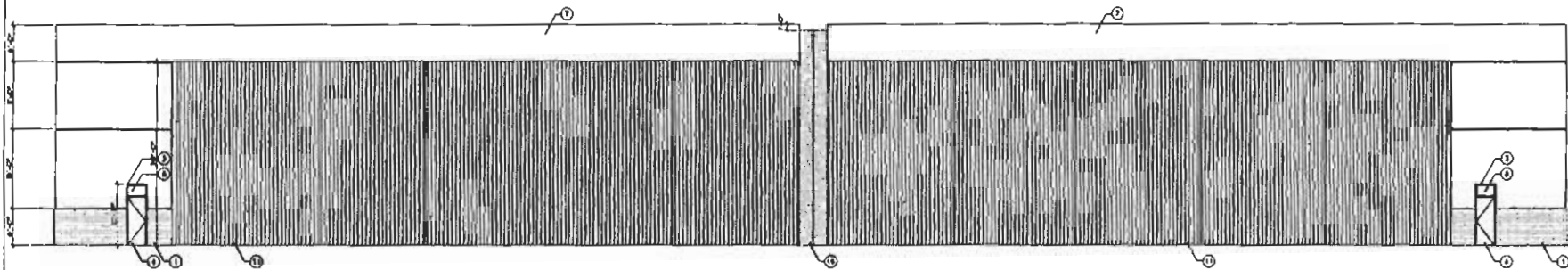


Drawing Name:  
Lined Number:  
Elevations:  
Rev: none  
Date: 07/26/04  
Project Number:  
2004-DB  
Drawing No:

A2.0-L  
621-PA-2004

# EXTERIOR ELEVATION KEYED NOTES:

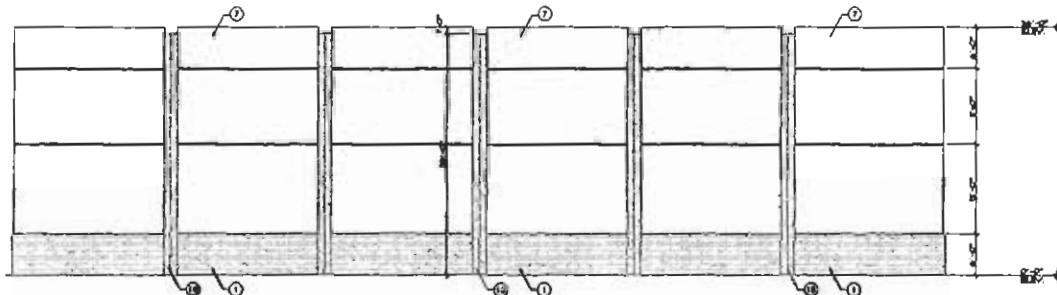
- 1 6" x 18" SPECKLED BLOCK (B&B) 60% CMU BLOCK - MILDRED CREEK COLOR
- 2 COPPER METAL SUPPORT COURSE
- 3 RAIL ALUMINUM WINDOW FRAMES
- 4 RAIL ALUMINUM DECORATIVE METAL SURFACING
- 5 EPS - LIGHT SAND TEXTURE PAINTED DARK EDWARDS - DISCRETE PLEATING (DEADEND)
- 6 EPS - LIGHT SAND TEXTURE PAINTED DARK EDWARDS - SILVER BULLET (DEADEND)
- 7 TILT SLAB CONCRETE PAINTED DARK EDWARDS PAINT - DISCRETE AIR GREY
- 8 EXTERIOR SLAB - VIBRONS 14" BLUE 2000
- 9 TILT SLAB CONCRETE PAINTED TO MATCH CMU-1
- 10 COARSE EXPOSED AGGREGATE CONCRETE TO MATCH CMU-1
- 11 HANGAR DOOR TO BE PAINTED DARK EDWARDS PAINT - DISCRETE AIR GREY
- 12 DECORATIVE COPPER ACCENT PANELS



3 NORTH ELEVATION - LARGE HANGAR

SCALE: 1/8"=1'-0"

X-ELEV-794



4 EAST ELEVATION - LARGE HANGAR

SCALE: 1/8"=1'-0"

X-ELEV-794

Larson Associates Architects, Inc.  
3807 North 24th Street, Suite 100  
Phoenix, AZ 85016  
Phone: 602.944.1900 FAX: 602.944.1901  
www.larsonarchitects.com



MILLER HOLDINGS - AIRPARK  
14800 NORTH 18TH WAY  
SCOTTSDALE, ARIZONA 85260



Drawing Name:  
LARGE HANGAR  
ELEVATIONS

Revisions:

Date: 8/24/04

Project Number: 2004-08

Drawing No:

A2.1-L

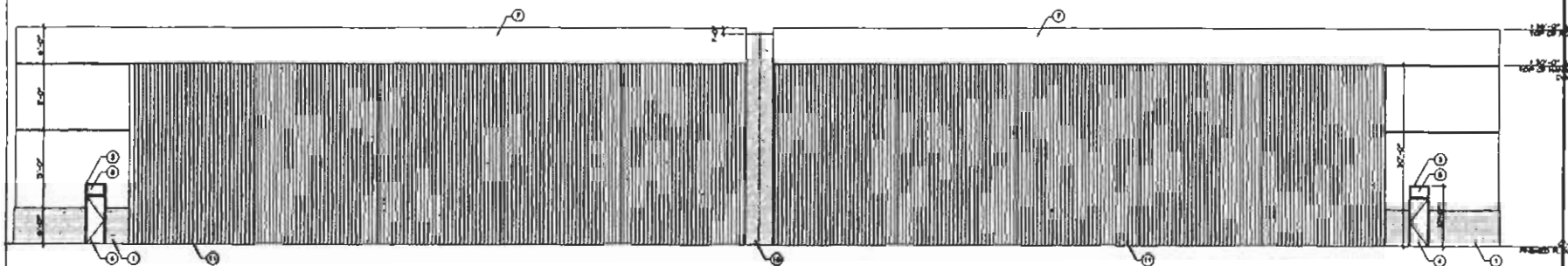
621-PA-2004

24-DR-2005  
4/1/2005

621-PA-2004

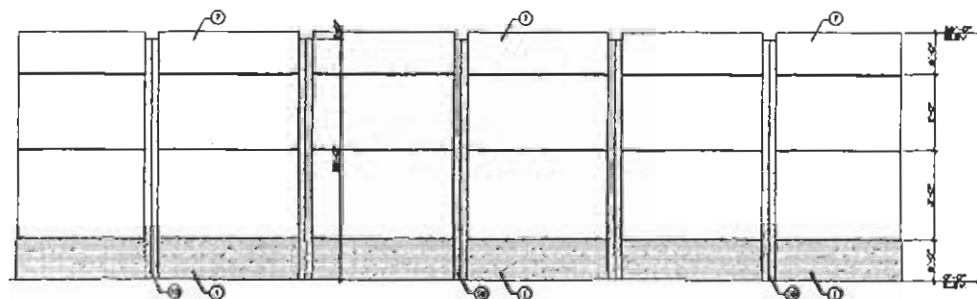
# EXTERIOR ELEVATION KEYED NOTES:

- ① 4" X 8" EXTERIOR BLOCK FISH SCALE GFI BLOCK - MOUNT GREEN COLES
- ② COPPER METAL SUPPORT COLLARS
- ③ RAIN ALUMINUM BRIDGES FRAMES
- ④ RAIN ALUMINUM DECORATIVE METAL SURFACES
- ⑤ EPS - LIGHT SAND TEXTURE PAINTED DUNE BEACHES - CHOCOLATE PUDDING (DESIGN)
- ⑥ EPS - LIGHT SAND TEXTURE PAINTED DUNE BEACHES - SILVER BULLET (DESIGN)
- ⑦ TILT SLAB CONCRETE PAINTED DUNE BEACHES PAINT - DUNE'S AND GREY
- ⑧ EXTERIOR SLAB - VARIATION 1/4" BLUE SCOF
- ⑨ TILT SLAB CONCRETE PAINTED TO MATCH GFI-1
- ⑩ COARSE EXPOSED AGGREGATE CONCRETE TO MATCH GFI-1
- ⑪ HANGER DOOR TO BE PAINTED DUNE BEACHES PAINT - DUNE'S AND GREY
- ⑫ DECORATIVE COPPER ACCESS PANELS



1 SOUTH ELEVATION - MEDIUM HANGAR  
SCALE 1/8"=1'-0"

X-ELEV-1541



2 WEST ELEVATION - MEDIUM HANGAR  
SCALE 1/8"=1'-0"

X-ELEV-1541

LATSON ASSOCIATES ARCHITECTS, INC.  
3807 NORTH 24TH STREET, SUITE 110  
SCOTTSDALE, ARIZONA 85260  
480.964.0700 FAX  
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MILLER HOLDINGS - AIRPARK  
14800 NORTH 19TH WAY  
SCOTTSDALE, ARIZONA 85260



Drawing Name:  
MEDIUM HANGAR  
ELEVATIONS

Revisions

Date: 12/2/04

Project Number: 2004-08

Drawing No:

A2.0-M

621-PA-2004

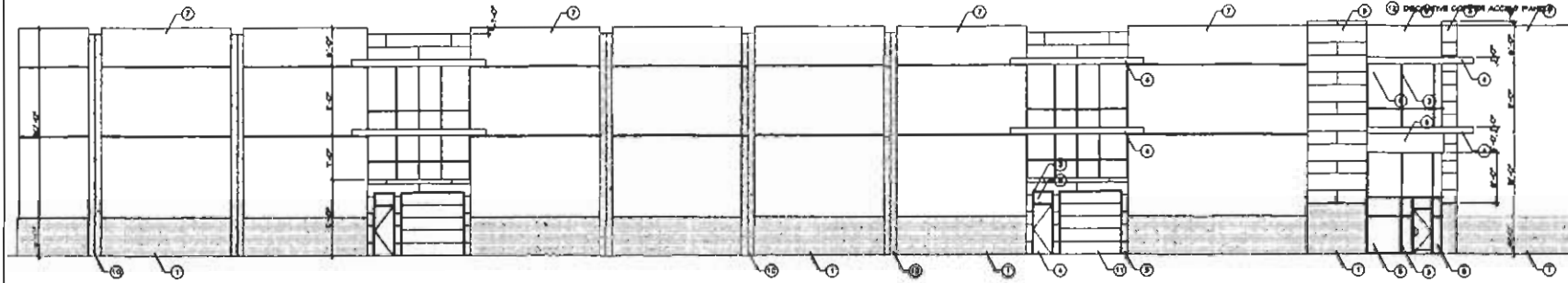
24-DR-2005  
4/1/2005

621-PA-2004



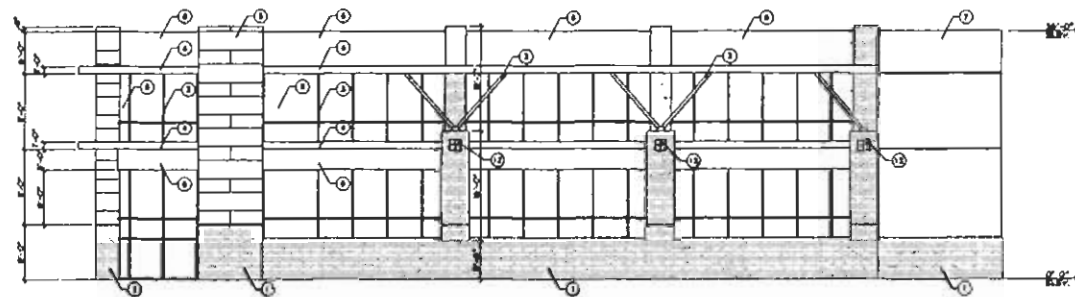
# EXTERIOR ELEVATION KEYED NOTES:

- 1 4" x 8" IMPERITE BLOCK PERM BRUSH CPE BLOCK - WHEAT CRACK GELCO
- 2 COPPER METAL SUPPORT COLUMNS
- 3 RAIN ALUMINUM WINDOW FRAMES
- 4 RAIN ALUMINUM DECORATIVE METAL SURFACES
- 5 EPS - LIGHT SAND TEXTURE PAINTED DUNK EDWARDS - CHOCOLATE FUDGE (TERRAZZO)
- 6 EPS - LIGHT SAND TEXTURE PAINTED DUNK EDWARDS - SILVER BELLY (TERRAZZO)
- 7 TLT SLAB CONCRETE PAINTED DUNK EDWARDS PAINT - DUSTY ASH GREY
- 8 EXTERIOR SLAB - VENTURA 1/2" BLUE 3000T
- 9 TLT SLAB CONCRETE PAINTED TO MATCH EPS-4
- 10 CONCRETE EXPOSED AGGREGATE CONCRETE TO MATCH EPS-1
- 11 HANGER DOOR TO BE PAINTED DUNK EDWARDS PAINT - DUSTY ASH GREY
- 12 DECORATIVE COPPER ALUMINUM FRAMES



3 NORTH ELEVATION - MEDIUM HANGAR  
SCALE: 1/8"=1'-0"

X-ELEV-FRM



4 EAST ELEVATION - MEDIUM HANGAR  
SCALE: 1/8"=1'-0"

X-ELEV-FRM

Larson Associates Architects, Inc.  
3807 North 24th Street, Suite 100  
Phoenix, AZ 85016 (602) 944-9000 FAX  
info@larson-architects.com



MILLER HOLDINGS - AIRPARK  
14800 NORTH 18TH WAY  
SCOTTSDALE, ARIZONA 85260



Drawing Name:  
MEDIUM HANGAR  
ELEVATIONS

Revisions

Design: S. J. J. J.

Project Number: 2004-06

Drawing No:

A2.1-M

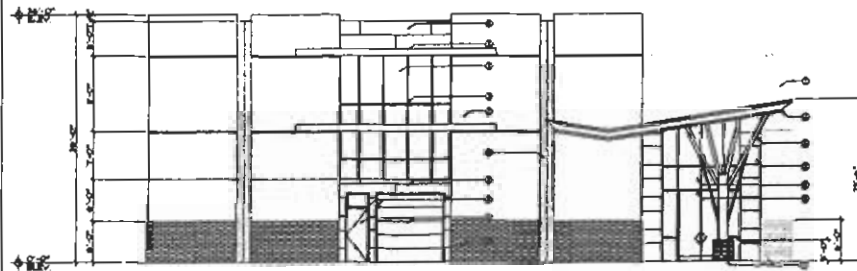
621-PA-2004

24-DR-2005  
4/1/2005

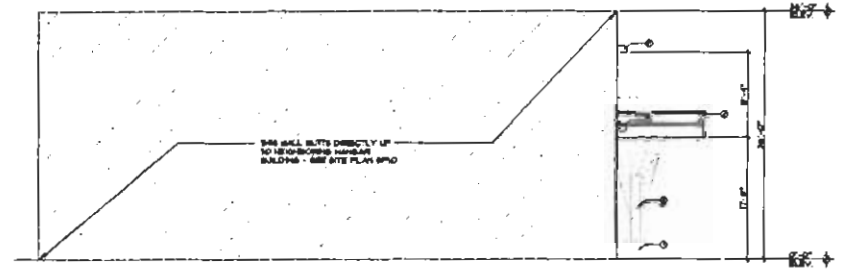
621-PA-2004

# EXTERIOR ELEVATION KEYED NOTES

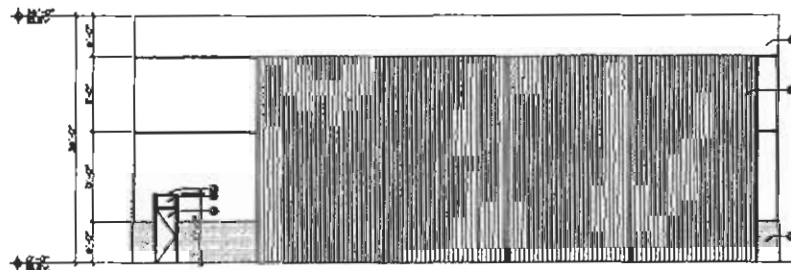
- 1 1" x 1" x 1" SUPERLITE BLOCK PISA STONE CMU BLOCK - BRUNNEN CREAM COLOR
- 2 COPPER METAL SUPPORT COLLARS
- 3 RAIN ALUMINUM BRACKETS, PAGES
- 4 RAIN ALUMINUM DECORATIVE METAL SURFACES
- 5 3/8" - LIGHT SAND TEXTURE PAINTED DUNE BEACHES - CHOCOLATE PLUMING (CDS 100)
- 6 3/8" - LIGHT SAND TEXTURE PAINTED DUNE BEACHES - SILVER BULLET (CDS 101)
- 7 1/2" SLAB CONCRETE PAINTED DUNE BEACHES PAINT - DECORATIVE BRICK
- 8 EXTERIOR SLAB - VINTAGE 1/2" SLAB 1000T
- 9 1/2" SLAB CONCRETE PAINTED TO MATCH CDS-1
- 10 COURSE EXPOSED AGGREGATE CONCRETE TO MATCH CDS-1
- 11 HANGER DOOR TO BE PAINTED DUNE BEACHES PAINT - DECORATIVE BRICK
- 12 DECORATIVE COPPER ACCENT PANELS



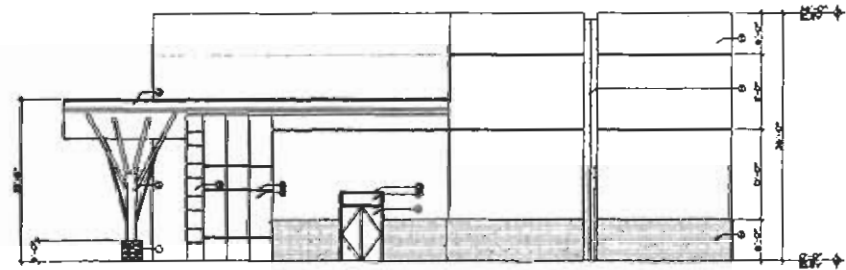
1 WEST ELEVATION - SMALL HANGAR  
SCALE: 1/8" = 1'-0"



2 NORTH ELEVATION - SMALL HANGAR  
SCALE: 1/8" = 1'-0"



3 EAST ELEVATION - SMALL HANGAR  
SCALE: 1/8" = 1'-0"



4 SOUTH ELEVATION - SMALL HANGAR  
SCALE: 1/8" = 1'-0"

Laison Associates Architects, Inc.  
300 N. 10th St., Suite 100  
Phoenix, AZ 85018  
602.944.7700 FAX  
602.944.7700

Laison

MILLER HOLDINGS - AIRPARK  
14800 NORTH 78th WAY  
SCOTTSDALE, ARIZONA 85260



Drawing Name  
SMALL HANGAR  
ELEVATIONS

Revisions

Date: 3/8/04

Project Number: 2004-08

Drawing No:

A2.0-9

24-DR-2005  
4/1/2005

621-PA-2004

621-PA-2004





Miller Holding  
14800 N. 78<sup>th</sup> Way  
Scottsdale, AZ 85260

## FIRE ORDINANCE REQUIREMENTS

(INCORPORATE INTO BUILDING PLANS AS GENERAL NOTE BLOCK - USE ONLY THE DESIGNATED STIPULATIONS)

- ☒ 1. PREMISES IDENTIFICATION TO BE LEGIBLE FROM STREET OR DRIVE & MUST BE ON ALL PLANS.
- ☒ 2. FIRE LANES & EMERGENCY ACCESS SHALL BE PROVIDED & MARKED IN COMPLIANCE WITH CITY ORDINANCE & IFC AT THE FOLLOWING LOCATIONS.  
  
AS SHOWN  
\_\_\_\_\_  
\_\_\_\_\_
- ☒ 3. IT IS THE DEVELOPERS RESPONSIBILITY TO DETERMINE ULTIMATE COMPLIANCE WITH THE FAIR HOUSING AMENDMENTS ACT & AMERICANS WITH DISABILITIES ACT & INCORPORATE SAME INTO THEIR BUILDING PLANS.
- ☐ 4. SUBMIT PLANS & SPECS FOR SUPERVISED AUTOMATIC EXTINGUISHING SYSTEM FOR ALL COOKING APPLIANCES, HOOD PLENUMS & EXHAUST DUCTS.
- ☒ 5. PROVIDE A KNOX ACCESS SYSTEM:
  - ☒ A. KNOX BOX
  - ☐ B. PADLOCK
  - ☒ C. KNOX OVERRIDE & PRE-EMPTION STROBE SWITCH FOR AUTOMATIC GATES.
- ☒ 6. INSTALL AN AS BUILT DRAWING CABINET ADJACENT TO THE FIRE SPRINKLER RISER. IT SHALL BE OF ADEQUATE SIZE TO ACCOMMODATE BOTH THE FIRE SPRINKLER & FIRE ALARM DRAWINGS. THE CABINET SHALL BE PROVIDED WITH A LOCK & KEYED TO MATCH THE FIRE ALARM CONTROL PANEL & SUPERVISED BY THE FACP IF APPLICABLE.
- ☐ 7. SUBMIT PLANS FOR A CLASS \_\_\_\_\_ FIRE ALARM SYSTEM PER SCOTTSDALE REVISED CODES.
- ☒ 8. PROVIDE INTERIOR TENANT NOTIFICATION WHEN OFF-SITE MONITORING IS REQUIRED.  
(SEE FIRE ALARM INTERPRETATIONS FOR CLARIFICATION)
- ☒ 9. ADD 2-1/2" WET FIRE HOSE VALVES (NSHT) IF FLOOR AREA EXCEEDS 10,000 SQ. FT. PER FLOOR LEVEL AND/OR IF FIRE DEPT. ACCESS IS LIMITED TO LESS THAN 360°. \_\_\_\_\_  
\_\_\_\_\_
- ☒ 10. BUILDINGS MAY BE SUBJECT TO INSTALLATION AND TESTING REQUIREMENTS FOR A PUBLIC SAFETY RADIO AMPLIFICATION SYSTEM.
- ☒ 11. BACKFLOW PREVENTION WILL BE REQUIRED ON VERTICAL RISER FOR CLASS 1 & 2 FIRE SPRINKLER SYSTEMS PER SCOTTSDALE REVISED CODE.
- ☒ 12. PROVIDE ALL WEATHER ACCESS ROAD (MIN. 16') TO ALL BUILDINGS & HYDRANTS FROM PUBLIC WAY DURING CONSTRUCTION.
- ☒ 13. SEE APPROVED CIVILS FOR THE NUMBER OF FIRE HYDRANTS REQUIRED. DEVELOPER SHALL HAVE THE REQUIRED HYDRANTS INSTALLED & OPERABLE PRIOR TO THE FOOTING INSPECTION. HYDRANTS SHALL BE SPACED AT A MAXIMUM OF \_\_\_\_\_ AT \_\_\_\_\_ GPM. THE DEVELOPER SHALL MAKE THE C.O.S. APPROVED CIVIL WATER PLANS AVAILABLE TO THE FIRE SPRINKLER CONTRACTOR.
- ☒ 14. PORTABLE FIRE EXTINGUISHERS SHALL BE INSTALLED. SEE SHEET(S) \_\_\_\_\_
- ☒ 15. EXIT & EMERGENCY LIGHTING SHALL COMPLY WITH THE C.O.S. ORDINANCE & THE IFC. SEE SHEETS \_\_\_\_\_
- ☒ 16. SUBMIT MSDS SHEETS & AGGREGATE QUANTITY FOR ALL HAZARDOUS MATERIALS INCLUDING FLAMMABLES, PESTICIDES, HERBICIDES, CORROSIVES, OXIDIZERS, ETC. A PERMIT IS REQUIRED FOR ANY AMOUNT OF HAZARDOUS MATERIALS STORED, DISPENSED, USED OR HANDLED. COMPLETE AN HMMP & SUBMIT WITH THE BUILDING PLANS.
- ☒ 17. FIRELINE, SPRINKLER & STANDPIPE SYSTEM SHALL BE FLUSHED & PRESSURE TESTED PER NFPA STANDARDS & SCOTTSDALE REVISED CODES.
- ☒ 18. FDC SIAMESE CONNECTIONS FOR SPRINKLERS AND/OR STANDPIPES WILL BE LOCATED PER ORDINANCE AND/OR AT AN APPROVED LOCATION. MINIMUM SIZE 2-1/2 x 2-1/2 x 4 (NSHT)
  - ☒ 4' TO 8' BACK OF CURB; INDEP. WET LINE.
  - ☐ WALL MOUNTED - 15' CLEAR OF OPENINGS.
- ☒ 19. ADEQUATE CLEARANCE SHALL BE PROVIDED AROUND FIRE RISER. DIMENSIONS FROM FACE OF PIPE SHALL MEASURE A MINIMUM OF 12" OFF THE BACK OF WALL, 18" ON EACH SIDE & 36" CLEAR IN FRONT WITH A FULL HEIGHT DOOR. THE FIRE LINE SHALL EXTEND A MAXIMUM OF 3' INTO THE BUILDING FROM INSIDE FACE OF WALL TO CENTER OF PIPE.

20. ☒ SPRINKLER SYSTEM SHALL BE INSTALLED TO COMPLY WITH MINIMUM NFPA CRITERIA 2002 EDITION & SCOTTSDALE REVISED CODES. SYSTEMS WITH 100 HEADS OR MORE SHALL HAVE OFF-SITE MONITORING. AFTER BUILDING PLAN REVIEW, INSTALLING CONTRACTOR SHALL SUBMIT (3) THREE COMPLETE SETS OF DRAWINGS & HYDRAULIC CALCULATIONS REVIEWED BY A MINIMUM NICET III DESIGN TECHNICIAN.
- ☐ A. MODIFIED NFPA 13-D SYSTEM WITH RESIDENTIAL QUICK RESPONSE SPRINKLER HEADS (2002 EDITION)
- ☐ B. MODIFIED NFPA 13R SYSTEM (2002 EDITION) WITH RESIDENTIAL QUICK RESPONSE SPRINKLER HEADS IN DWELLING UNITS & ATTIC AREAS FED FROM SEPARATE FIRELINE PER C.O.S. ORDINANCE & INTERPRETATIONS & APPLICATIONS. CALCULATE UP TO FOUR REMOTE HEADS & 900 SQ FT MIN. IN ATTIC.
- ☒ C. NFPA 13 2002 EDITION COMMERCIAL SYSTEM / DESIGN CRITERIA: SEISMIC DESIGN CATEGORY SHALL BE DETERMINED BY STRUCTURAL ENGINEER.
- ☐ D. THE FIRE SPRINKLER SYSTEM DESIGN FOR WAREHOUSE / STORAGE OCCUPANCIES SHALL BE BASED ON THE FULL HEIGHT CAPACITY OF THE BUILDING PER SCOTTSDALE REVISED CODE. DENSITY CRITERIA:
- ☐ E. SPRINKLER DESIGN CRITERIA FOR UNSPECIFIED WAREHOUSE COMMODITIES: .45 OVER 3000 SQ. FT.
- ☐ F. THE PROJECT SPECIFICATIONS SHALL BE SUBMITTED WITH CONTRACT DRAWINGS.
- ☒ G. HANGERS SHALL CONFORM TO N.F.P.A. 409 AND 410
21. ☒ F. FUEL AND WASTE OIL STORAGE REQUIRES A FIRE DEPARTMENT PERMIT

Submit three (3) complete sets of drawings submitted by installing contractor, after building plan review is complete. Please refer questions to Fire Dept. Plan Review, 312-7070, 312-7684, 312-7127, 312-2372.

## **Stipulations for Case: Miller Holdings Airpark 24-DR-2005**

Unless otherwise stated, the applicant agrees to complete all requirements prior to final plan approval, to the satisfaction of Project Coordinator and the Final Plans staff.

### **PLANNING**

#### **APPLICABLE DOCUMENTS AND PLANS:**

##### **DRB Stipulations**

1. Except as required by the City Code of Ordinances, Zoning Regulations, Subdivision Regulations, and the other stipulations herein, the site design and construction shall substantially conform to the following documents:
  - a. Architectural elements, including dimensions, materials, form, color, and texture, shall be constructed to be consistent with the building elevations submitted by Larson Associates Architects, Inc. with a city receipt date of 4/1/2005.
  - b. The location and configuration of all site improvements shall be constructed to be consistent with the site plan submitted by Larson Associates Architects, Inc. with a city receipt date of 4/1/2005.
  - c. Landscaping, including quantity, size, and location of materials shall be installed to be consistent with the conceptual landscape plan submitted by Larson Associates Architects, Inc. with a city receipt date of 5/27/2005.

#### **ARCHITECTURAL DESIGN:**

##### **DRB Stipulations**

2. *At the time of final plans, the retention/parking screen wall located adjacent to 78<sup>th</sup> Way shall be revised to break up the vertical height of the wall, through the use of planting tiers, or other design acceptable by city staff.*
3. The face of the service entrance section(s) shall be flush with the building façade and painted to match the building.
4. All exterior mechanical, utility, and communications equipment shall be screened by parapet or wall that matches the architectural color and finish of the building. Wall or parapet height for roof-mounted units shall meet or exceed the height of the tallest unit. Wall height for ground-mounted units shall be a minimum of 1 foot higher than the tallest unit.
5. All exterior conduit and raceways shall be painted to match the building.
6. No exterior roof ladders shall be allowed where they are visible to the public or from an off-site location.
7. Roof drainage systems shall be interior, except that overflow scuppers are permitted. If overflow scuppers are provided, they shall be integrated with the architectural design.
8. Wall enclosures for refuse bins or trash compactors shall be constructed of materials that are compatible with the building(s) on the site in terms of color and texture.
9. Dooley wall fencing shall not be allowed.
10. All walls shall match the architectural color, materials and finish of the building(s).

##### **Ordinance**

- A. *At time of the final plans submittal, the applicant shall revise the Building Elevations for all buildings to include a data table that shows the calculations used to determine building height compliance. Hangar*



*elevations shall note: Building height determined from top of pavement elevations taken from the adjacent taxilane.*

**SITE DESIGN:****DRB Stipulations**

11. *Prior to the issuance of permits, the applicant shall have obtained DRB approval for a preliminary plat (PP), Re-Plat of the Scottsdale Industrial Airpark No. 6 subdivision, re-configuring lot 3, lot 4 and portion of Tract "A" into the ultimate configuration of the subject parcel. Also, prior to the issuance of any permits, the final plat of the re-plat shall be approved by staff and recorded by staff with Maricopa County.*
12. *With the final plans submittal, the applicant shall submit a letter of approval from Scottsdale Airport stating that all the aviation related stipulations have been addressed.*

**Ordinance**

- B. *At time of final plans submittal the site plan shall be revised to show all required/allowed and provided development standards along with their associated detailed calculations.*

**LANDSCAPE DESIGN:****DRB Stipulations**

13. *Upon removal of the salvageable native plants the salvage contractor shall submit completed Native Plant Tracking Form as well as a list identifying the tag numbers of the plants surviving salvage operations to the City's Inspection Services Unit within 3 months from the beginning of salvage operations and/or prior to the issuance of the Certificate of Occupancy.*
14. *Cut and fill slopes shall be rounded to blend with the existing contours of the adjacent natural grades.*

**Ordinance**

- C. *50% of the trees provided shall be mature trees with a minimum caliper size of 2 (two) inches for a single trunk and/or 1 (one) inch average for multi-trunk trees or equivalent.*
- D. *Areas of decomposed granite without plant materials/groundcover shall not exceed seven (7) feet in any one direction, measured between plant canopies and/or coverage.*

**EXTERIOR LIGHTING DESIGN:****DRB Stipulations**

15. *All exterior luminaires shall meet all IESNA requirements for full cutoff, and shall be aimed downward and away from property line except for sign and parking lot lighting.*
16. *The individual luminaire lamp shall not exceed 250 watts.*
17. *The maximum height from finished graded to the bottom of the any exterior luminaire shall not exceed 20 feet.*
18. *All exterior light poles, pole fixtures, and yokes shall be a flat black or dark bronze.*
19. *Incorporate into the project's design, the following:*

**Parking Lot and Site Lighting:**

- a. *The maintained average horizontal illuminance level, at grade on the site, shall not exceed 2.5 foot-candles.*
- b. *The maintained maximum horizontal illuminance level, at grade on the site, shall not exceed 10 foot-candles. All exterior luminaires shall be included in this calculation.*
- c. *The initial vertical illuminance at 6.0 foot above grade, along the entire property line (or 1 foot outside of any block wall exceeding 5 foot in height) shall not exceed 1.5 foot-candles. All exterior luminaires shall be included in this calculation.*

**Building Mounted Lighting:**

- d. All luminaires shall be recessed or shielded so the light source is not directly visible from property line.

**VEHICULAR AND BICYCLE PARKING:**

**DRB Stipulations**

- 20. Bike rack design shall be in conformance with City of Scottsdale M.A.G. Details unless otherwise approved in writing by the City of Scottsdale's Transportation Department.

**ADDITIONAL PLANNING ITEMS:**

**DRB Stipulations**

- 21. No exterior vending or display shall be allowed.
- 22. Flagpoles, if provided, shall be one piece, conical, and tapered.
- 23. Patio umbrellas shall be solid colors and shall not have any advertising in the form of signage or logos.

**RELEVANT CASES:**

**Ordinance**

- E. At the time of review, the applicable zoning, DRB, Use Permit, and etc. case(s) for the subject site were:  
18-Z-1970, 19-Z-1975, 2-Z-1979, 8-DR-1979

## ENGINEERING

The following stipulations are provided to aid the developer in submittal requirements, and are not intended to be all inclusive of project requirements. The developer shall submit engineering design reports and plans that demonstrate compliance with city ordinances, the Scottsdale Revised Code and the Design Standards and Policies Manual.

### APPLICABLE DOCUMENTS AND PLANS:

24. Conceptual Grading and Drainage Plan, dated 3/15/05, prepared by Hunter Engineering, P.C., dated 5/27/05 by City Staff.
25. Site Plan, dated 12/15/05, prepared by Larson Associates, dated 4/1/2005 by City Staff.
26. Preliminary Drainage Report, dated 3/15/05, prepared by Hunter Engineering, P.C., dated 5/27/05 by City Staff.

### CIVIL IMPROVEMENT PLAN REQUIREMENTS:

#### **DRB Stipulations**

27. Final plan is subjected to a review and approval by City of Scottsdale Airport personnel.

### DRAINAGE AND FLOOD CONTROL:

#### **DRB Stipulations**

28. A final drainage report shall be submitted that demonstrates consistency with the conceptual drainage report approved in concept by the Planning and Development Services Department.
  - a. Before the approval of improvement plans by city staff, the developer shall submit two (2) hard copies and one (1) compact disc copy of the complete final drainage report and plan.
29. Basin Configuration:
  - a. Basin side slopes shall not be steeper than 4:1, and basin depths shall not exceed 3 feet.
  - b. A maximum of 50% of the front open space may be used as a retention/detention basin unless approved by the Project Coordination Manager.
30. Stormwater Storage on Paved Surfaces. Up to 50% of required stormwater storage may be provided in parking areas when the following conditions are met:
  - a. Storage system shall be designed to store first 30% of required runoff volume off paved areas (to avoid ponding of nuisance water on pavement).
  - b. Parking lot storage areas shall be designed so as to minimize interference with pedestrian traffic. Depth of water shall not exceed six inches within the parking area.

Specification: With Final Plans submittal, the engineer will by plan and engineering analyses prepare a document that:

- Identifies the physical parameters and anticipated operation of the of the device/devices;
- Identify a routine inspection schedule, including inspections approximately 36 hours a rainfall event that is prepared by a Registered Engineer in the State of Arizona;
- If the inspection identifies maintenance needs the owner will have repairs made within 15 days of the identification, or will notify the City when the work is accomplished, and;
- Provide proof of all inspections and maintenance that will be kept on site and readily available for City staff review within normal working hours.

**Ordinance**

- F. On-site stormwater storage is required for the full 100-year, 2-hour storm event. The design of the storage basin capacity shall account for any proposed landscaping improvements. The landscaping improvements within the basins shall not reduce the capacity of the basins under the required volume.
- (1) Basin bleed-off rates shall be set so that the storage basins do not drain completely in less than 24 hours. Storage basins must drain completely within 36 hours.
  - (2) Infiltration of stormwater through the basin floor is not acceptable as the sole means of draining the basin. Stormwater storage basins should be designed to meter flow to the historic out-fall point. Where an historic out-fall point does not exist (or metering is not possible), other methods of discharge such as pumps, etc. may be considered.
  - (3) Stormwater storage basins may not be constructed within utility easements or dedicated right-of-way (exceptions may be granted with written approval from appropriate utility company).
  - (4) Off-site runoff must enter and exit the site as it did historically.
  - (5) All development shall be designed to satisfactorily convey the 100-year peak discharge through the site without significant damage to structures.
- G. With the final improvement plans submittal to the Plan Review and Permit Services Division, the developer shall submit a final drainage report and plan, subject to City staff approval.
- H. UNDERGROUND STORM WATER STORAGE. This site is approved to install an underground storage tank to temporarily store and discharge stormwater runoff for this site only. Improvements within the basins shall not reduce the capacity of the basins under the required volume.
- (1) ACCESS. The underground storage tank shall provide a four-foot minimum diameter manhole for access.
  - (2) RESPONSIBILITY OF MAINTENANCE. Before the approval of improvement plans by city staff, the developer shall provide the Project Quality/Compliance Division with written documentation that states the following:
    - The developer and/or his assigns agree to maintain the underground storm water storage tank in perpetuity.
    - The developer and/or his assigns, the developer's engineer and contractor assume all liability for the design, construction and maintenance of the underground storm water storage tank and hold harmless the City from any such liability.
  - (3) LIMITS OF INUNDATION. The final drainage report shall verify limits of inundation in the event the underground storm water storage tank is in partial and full conditions (not fully drained) when the 100-year, 2-hour storm event occurs. (See item 2 above.)
  - (4) BASIN CERTIFICATION. Stormwater storage basins/tank constructed for this site shall be verified by as-built survey. The volume of storm water storage provided shall be certified:
    - As equal to or greater than design volumes required in the approved final drainage report and on the approved final improvement plans, and shall meet or exceed the required volume per City Ordinance.
    - In writing by a registered professional civil engineer, using as-built data from a registered land surveyor.
  - (5) REFERENCE PERTINENT CODE. The final drainage report shall:  
Provide a copy of the Scottsdale Revised Code Section 37-45 in the appendix.  
Reference the Scottsdale Revised Code Section 37-45 and emphasize the importance of maintenance for the purposes of public health and safety. (See item 2 above.)

- (6) **SIGNAGE.** The improvement plans shall provide for signage at each end of the underground storage tanks. The sign shall read, " Notice Underground Storm water Storage Tank" The size, color and exact locations to be determined by city staff.
- (7) **TANK DRAINAGE.** A bleed-off line from the underground storage tank to a proposed underground bleed off pipe discharging to the property line shall be provided. Storm water storage tanks should be designed to meter flow to the historic out-fall point. Where no out-fall exists (or metering is not possible), other methods of discharge may be considered.
- (8) **MAINTENANCE.** Underground storage tank is to be cleaned and drained after every rain event.
- (9) **INSPECTION.** Inspection of the underground storage system are required at least once a month and within 36 hours after a major storm. Inspections must be performed by an individual familiar with the onsite equipment such as a plumber.
- (10) **TANK SPECIFICATIONS.** The storage tank shall be water tight with an oil and grease separator. See ASTM specifications for watertight testing.
- (11) **O & M SCHEDULE.** With the improvement plan submittal to the Project Quality/Compliance Division, the developer shall submit an Operations and Maintenance (O & M) Manual. The O & M shall:
  - Identify the owner of the storage tank and the name of the firm or associations maintaining the storage tank. The contact information for the owner the maintenance associations shall list names, addresses, phone numbers and emergency phone numbers.
  - Include provisions for emergency operations due to power failure, pump failure, clogged outlet structures.
  - Include a maintenance log including a maintenance schedule for pump, tank/vault, inlet/outlet structures.
  - Upon request, copy of the maintenance log and a certified Letter of Inspection shall be delivered to the City of Scottsdale.

I. Street Crossings:

- (1) Watercourse crossings for roads shall be designed to provide for 100-year access to all lots by at least one route. Accessibility will be considered to exist if it can be shown by the engineer that at the time of the peak flow, the depth of flow over the road will not be greater than 1 foot.

**ROADWAY, INTERSECTION, AND ACCESS DESIGN:**

**Streets and other related improvements:**

STREET NAME	STREET TYPE	R.O.W. DEDICATION	ROADWAY IMPROVEMENT	CURB TYPE	BIKE PATH, SIDEWALK, TRAILS
78 <sup>th</sup> Way	Residential	30' Existing	Existing	Vertical	Existing

**DRB Stipulations**

31. If a gated entrance is proposed, the developer shall design and construct the gated entrance in conformance to Figure 8.1-1 of the City's Design Standards and Policies Manual.
32. Two (2) site driveways are approved for this development. The developer shall design and construct both driveways in general conformance with Type CL-1, City of Scottsdale Standard Detail #2256 for CL-1. The developer shall provide a minimum of 50 feet of throat length at site driveways.
33. It is recommended that the proposed site driveway does not align with Raintree Drive due to the volume of traffic that passes through this intersection. The preferred location of the site driveway is approximately 160-170' south of the centerline of Raintree Drive.



**Ordinance**

- J. The developer shall submit a detailed striping and signage plan with final plans. The striping and signage plan shall include all existing improvements and striping within 300 feet of the limits of construction, and all signs, striping, or other traffic control devices proposed to accommodate phased and ultimate construction.
- K. Public street lights shall be installed in accordance with City of Scottsdale Revised Code, Section 48-149. The developer shall be responsible for coordinating a street layout and cost estimate with the utility company. Building permits may not be issued until all street light arrangements (including fee requirements) have been made.

**INTERNAL CIRCULATION:****DRB Stipulations**

- 34. The developer shall provide a minimum parking-aisle width of 24 feet.
- 35. The developer shall provide internal circulation that accommodates emergency and service vehicles with an outside turning radius of 45 feet and inside turning radius of 25 feet.
- 36. The plans shall be revised to show the turn at south leg of the main driveway being flatten out to eliminate the "y" configuration.
- 37. The developer shall design the dead-end parking aisle in general conformance with the included detail.

**Ordinance**

- L. Parking areas shall be improved with a minimum of 2.5 inches of asphalt over 4 inches of aggregate base.

**DRB Stipulations**

- 38. Sight distance easements shall be dedicated over sight distance triangles.
  - a. Sight distance triangles must be shown on final plans to be clear of landscaping, signs, or other visibility obstructions between 2 feet and 7 feet in height.
  - b. Refer to the following figures: 3.1-13 and 3.1-14 of Section 3.1 of the City's Design Standards and Policies Manual, published December 1999.
- 39. Vehicular Non-Access Easement:
  - a. Prior to final plan approval, the developer shall dedicate a 1-foot wide vehicular non-access easement along the property frontage on 78<sup>th</sup> Way except at the approved driveway location.
- 40. Indemnity Agreements:
  - a. When substantial improvements or landscaping are proposed within a utility easement, an indemnity agreement shall be required. The agreement shall acknowledge the right of the City to access the easement as necessary for service or emergencies without responsibility for the replacement or repair of any improvements or landscaping within the easement.

**Ordinance****M. Drainage Easement:**

- (1) Drainage and flood control easements shall be dedicated to the City to the limits of inundation for all vista corridor washes, for all washes having a discharge rate of 25 cfs or more, for all FEMA regulatory floodways to the extent of the 100-year base flood elevation, and for all stormwater storage basins. All drainage and flood control easements shall be dedicated to the City with maintenance responsibility specified to be that of the property owner.

**N. Waterline and Sanitary Sewer Easements:**

- (1) Before the issuance of any building permit for the site, the developer shall dedicate to the City, in conformance with the Scottsdale Revised Code and the Design Standards and Policies Manual, all water easements necessary to serve the site.

O. Public Utility Easement:

- (1) An 8-foot wide public utility easement shall be dedicated along both sides of internal streets. The 8-foot wide easements may be reduced or eliminated upon approval of the public utility companies.

**REFUSE:****DRB Stipulations**

41. Five (5) single refuse enclosures or an equivalent combination of single and double refuse enclosures are required for this site. Refuse enclosures shall be constructed to City of Scottsdale's standards. Details for construction of trash enclosures can be found in the City of Scottsdale Supplements to MAG Standards, standard detail #2146-1 for single enclosures and #2147-1 for double enclosures.
42. Enclosures must:
- a. Provide adequate truck turning/backing movements for a design vehicle of turning radius R (minimum) = 45 feet vehicle length of L = 40 feet.
  - b. Be positioned to facilitate collection without "backtracking."
  - c. Be easily accessible by a simple route.
  - d. Not require backing more than 35 feet.
  - e. Not be located on dead-end parking aisles.
  - f. Enclosures serviced on one side of a drive must be positioned at a 30-degree angle to the centerline of the drive.

**Ordinance**

P. Refuse enclosures are required as follows:

- (1) Restaurants: One per restaurant
- (2) Commercial Building Space: One for 0 to 20,000 s.f., Two for 20,001 to 40,000 s.f., Three for 40,001 to 60,000 s.f., etc.
- (3) Apartments: One for 0 to 20 units, Two for 21 to 40 units, Three for 41 to 60 units, etc.

For larger sites, an additional enclosure shall be required for each building space increase up to 20,000 SF, as shown above. For commercial buildings that include one or more restaurants, one refuse enclosure must be dedicated to each restaurant in addition to the number of enclosures needed based on the square footage of the commercial building, as shown above.

Q. Underground vault-type containers are not allowed.

R. Refuse collection methods, i.e., site plan circulation will be approved at final plan review.

S. Refuse collection can be provided by the City of Scottsdale's Sanitation Division, at 480-312-5600.

**WATER AND WASTEWATER STIPULATIONS**

The following stipulations are provided to aid the developer in submittal requirements, and are not intended to be all-inclusive of project requirements. Water and sewer lines and services shall be in compliance with City Engineering Water and Sewer Ordinance, the Scottsdale Revised Code and Sections 4 and 5 of the Design Standards and Policies Manual.

**DRB Stipulations**

43. Where walls cross or run parallel with public water mains, public sewer mains, or public fire lines the following shall apply:
- a. For walls constructed parallel to these pipes, the walls shall be a minimum of six (6) feet from the outside diameter of the pipe.
  - b. For walls constructed across or perpendicular to these pipes, the walls shall be constructed with gates or removable wall panels for maintenance and emergency access.

**WATER:****DRB Stipulations****44. Basis of Design Report (Water):**

- a. Before the improvement plan submittal to the Plan Review and Permit Services Division, the developer shall obtain approval of the Water Basis of Design Report from the City's Water Resources Department. The report shall conform to the draft Water and Wastewater Report Guidelines available from the City's Water Resources Department.

**Ordinance**

- T. The water system for this project shall meet required health standards and shall have sufficient volume and pressure for domestic use and fire protection.

**WASTEWATER:****DRB Stipulations**

45. Wastewater Basis of Design Report. Before the improvement plan submittal to the Plan Review and Permit Services Division, the developer shall obtain approval of the Wastewater Basis of Design Report from the City's Water Resources Department. The report shall conform to the draft Water and Wastewater Report Guidelines available from the City's Water Resources Department.

**Private Sewer System**

46. On-site sanitary sewer shall be privately owned and maintained.

**Service Connections to the Main.**

47. Existing water and sewer service lines to this site shall be utilized or shall be abandoned by disconnection at the main.

**Ordinance****LOCATION & CLEARANCE.**

- U. Privately owned sanitary sewer shall not run parallel within the waterline easement.

**MONITORING MANHOLE.**

- V. All sewage discharged from this development shall meet local and federal pretreatment standards for sewage discharge. The facility may require a City Industrial Users Permit and related monitoring and sampling facility. All development within industrial (I-1) zoned districts shall provide a monitoring manhole.

**OIL AND GREASE INTERCEPTORS.**

- W. Oil and grease interceptors shall be provided at service connections to the sanitary sewer. The interceptors shall be located as to be readily and easily accessible for cleaning and inspection.

**CONSTRUCTION REQUIREMENTS****DRB Stipulations****As-Built Plans.**

48. City staff may at any time request the developer to submit as-built plans to the Inspection Services Division.

- a. As-built plans shall be certified in writing by a registered professional civil engineer, using as-built data from a registered land surveyor.
- b. As-built plans for drainage facilities and structures shall include, but are not limited to, streets, lot grading, storm drain pipe, valley gutters, curb and gutter, flood walls, culverts, inlet and outlet structures, dams, berms, lined and unlined open channels, storm water storage basins, underground storm water storage tanks, and bridges as determined by city staff.

**Ordinance**

- X. Section 404 permits. With the improvement plan submittal to the Plan Review and Permit Services Division, the developer's engineer must certify that it complies with, or is exempt from, Section 404 of the Clean Water Act of the United States. [Section 404 regulates the discharge of dredged or fill material into a wetland, lake, (including dry lakes), river, stream (including intermittent streams, ephemeral washes, and arroyos), or other waters of the United States.]